

Chart called the meeting to order at 6:00 p.m. with Beere, Weinkauf and Novy present.

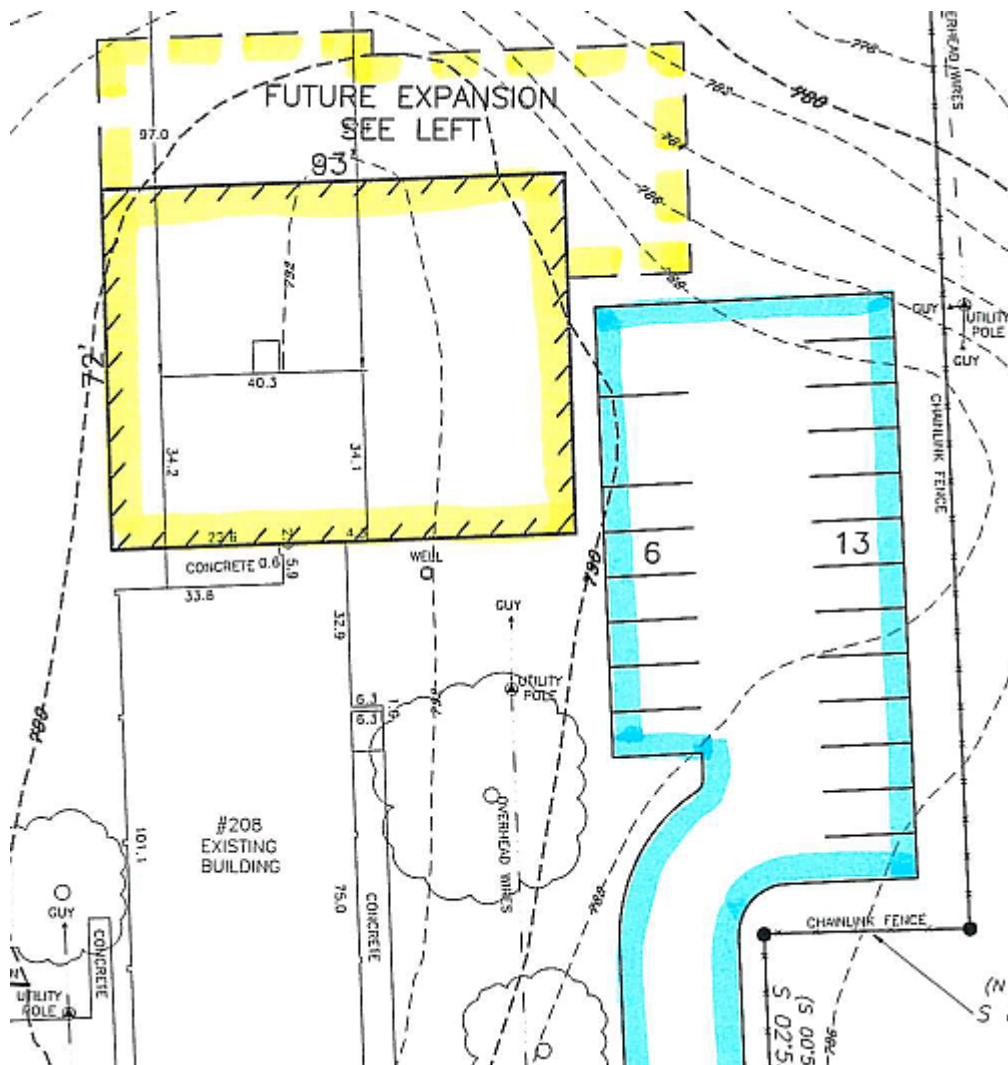
Steve Wagner and Bill Matthews, Anderson- Ashton, Inc., were also present.

**Review and discuss village hall programming information with Steve Wagner, Project Architect; and Bill Matthews, Project Manager, Anderson-Ashton, Inc.**

**Programming information was reviewed with the following results:**

**Site locations-**

**Sketch 1 (originally identified as the preferred location):**



Issues affecting attachment of the Village Hall to the existing library as an addition were discussed as follows:

**Existing two-story building.** Miller asked to clarify intentions and timing on demolishing the two-story building. He questioned whether this is going to happen no matter what and how it should be timed with the project.

Discussion turned to whether or not the village hall will be built as an addition to the library; or whether it will be built as a free-standing building- this will impact when the two-story building is demolished. Beere stated a primary consideration is whether a sprinkler system would be required if the village hall was built as an addition.

**Sprinkler system requirements.** Wagner indicated a building sized less than 12,000 square feet can utilize fire barriers in lieu of a sprinkler system if exits are built on grade and occupancy does not exceed 300 people in any area. The building can be designed to meet this requirement.

**Building placement.** There was question on whether there was adequate room between the library and Wade Street to build the village hall. Wagner indicated grades are challenging in this area and you would end up with at least a story and a half façade exposure towards the north, in which case you would likely want to capture that square footage. But, it was quickly identified that a two-story structure would require installation of an elevator.

Drainage, access and green design were also identified as challenges for this area. As shown, the site would offer a predominant northern exposure for the village hall. If joining the village hall and library is a priority, he would propose to include a central common node in the area of the two-story building that offers the library access and then offsetting construction of the village hall to the west towards the ball diamond. This would provide southern exposure; and greater availability and access to the site. However, this would impact the ball diamond in that it would have to be moved. Wagner indicated it would be difficult to site the building as shown on Sketch 1 as the programming will not fit into a compacted inner core box as well as it would into a more linear design.

There was discussion regarding constructing a portion of the new building where the two-story portion of the library building is now located and how foundation requirements would be impacted because the current building contains a basement; and the new building is proposed to be built at grade.

Matthews indicated it can be done as it would be no different than discovering bad soils at a site. Proper fill and compacting methods would be required before construction could occur.

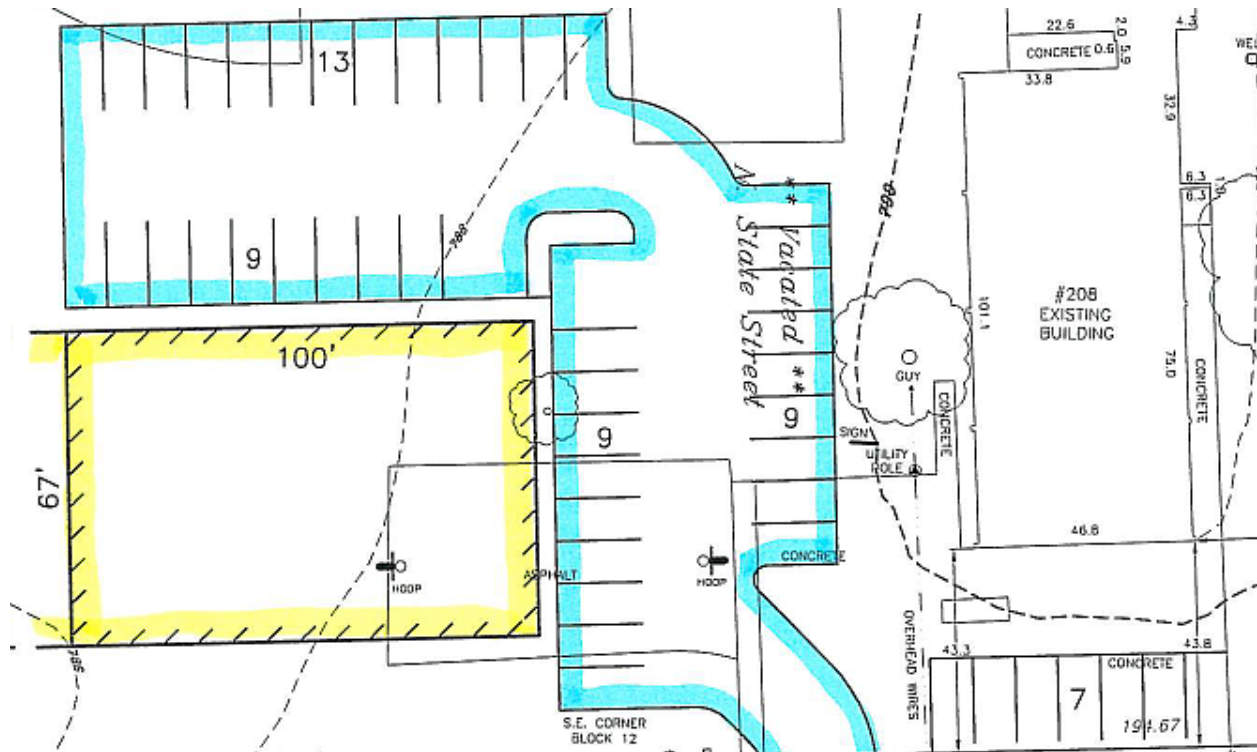
Wagner questioned how important it is to save the ball diamond. Weinkauff responded the field is too small for regulation play and is limited to pee-wee leagues. Wagner indicated the size would have to be cut down even more if the village hall was located as discussed.

Chart stated he feels it would be easier to design a building separately because you wouldn't have to match the design of the library and wouldn't have to worry about attaching to it. He feels a separate building would be cheaper to construct and allow for a wise design. He noted no walls are being saved by adding the village hall onto the library.

Matthews stated, if you go with a separate building, you wouldn't have to deal with the fire issues. Committee members concurred the design would be better as a separate building that would just be a few feet away from the library.

Matthews then noted, if the ball diamond is not a big deal, the area northwest of the library building is not the best location for the village hall. Elevations make Sketch 2 a more ideal location:

Sketch 2:



That area is flat. Chart indicated a downfall is that the building would lose its southern exposure if butted up against trees on the south property line.

Wagner stated the building could be moved to the north and parking could be consolidated so there wouldn't be a blind corner between the two lots. This site offers the most space in case you need to add on in the future.

It was noted that Sketch 1 does not offer the same flexibility for future additions.

Sketch 2 offers a free standing building, but one that is easily accessible to the library. The discussion turned back to building the structure closer to Wade Street, and there was discussion about utilizing an existing parking lot on Wade Street, possibly constructing steps up from that lot to offer additional parking, but it was noted that this does not offer handicap accessibility. Placing the building closer to Wade Street offers better southern exposures. Handicap accessibility could be provided through the Spring Street side.

Site options were further discussed noting the closer you move the building to Wade Street, the more elevations become problematic. The lower you go with the new building, the greater distance you will need between the two buildings so you can create the necessary swales to drain water.

The conversation turned to Sketch 2 as the preferable location.

Matthews then clarified that the Village would still want the two-story portion of the library removed. If sketch 2 is the preferable location, the whole project can be bid out as one phase. However, if an addition is required (sketch 1), he would suggest that the two-story portion be demolished now.

The committee indicated demolition should be accomplished regardless of which option is chosen and the bidding process to get rid of the two-story should be worked on.

Matthews indicated, if an addition is planned, a temporary shut-off between the two buildings would be specified. If not, they would look at that as a permanent separation- closing up and finishing the wall. He also noted, if not adding on, there won't be as much of an expense as to how you fill in the excavation.

Wagner noted the library building is designed with buttresses down and lends itself to expand in that direction without the two-story in the way. But, there is not enough space to locate the village hall there. However, if the library had another purpose for square footage, a smaller addition could be added in that direction.

Elevations deter locating the Village Hall towards Wade Street. The further the building goes in this direction, the more distance is required between the two buildings. If separate buildings are built, you need to have enough space to provide parking, handle water movement and put the building in.

Discussion then turned towards parking and traffic flow. It was questioned whether it was possible to look at a way in off of Wade Street for parking- or the possibility of having parking from both sides. If you lower the elevations a bit, that can be accomplished. There was then another question on whether it was a requirement of this project to get more parking for the library too. The answer was yes.

Wagner noted, if you drop the elevation of the new building, the library isn't getting the benefit of the parking- and all entrances are currently on the east side of the building. It was noted that an entrance could be installed on the west side of the library building as part of the project.

Steve noted two options, setting the building to the west of the library, and then moving it to the north to see how grading would have to change. The discussion then turned to Sketch 3 (next page).



Matthews indicated a pole barn constructed for cold storage would offer cost savings, but building it for records storage would not. He did not think it would be cheaper to build another building, concrete it; climate control it, bring the utilities there, etc. , than adding square footage to the village hall.

Beere stated historical society space could be designed in and be considered expansion space for the future. It could be built now, and then the extra space would be there if needed in the future. The space could be leased to the historical society without a promise that they would have it forever. If the village needs the space in the future, they (the historical society) would need to find an alternative.

Another idea discussed was partitioning the library meeting room for library storage and the historical society. There is approximately 900 square feet. The historical society could be given a one year lease and be notified that they would have to go at that time- saving the Village the expense of adding another 1,000 square feet onto the building.

Matthews indicated this is all about identifying options. Putting extra space on and using it as storage and then having it there when you need it is a lot cheaper than coming up 5 years from now and saying we're going to add another 1,000 or 1,500 square feet onto the building. It will not be cheap to do that in the future. However, it hasn't been priced, so we don't know the price of additional square footage.

Wagner stated Sketch 2 offers the most economical and easiest site to layout the different offices and offer accessibility to them with a hallway off the waiting room and the assembly area for meetings and voting, etc. It also offers a southern exposure for task lighting. It is a good space for creating what is needed.

Wagner clarified programming language "accessible from waiting area" to mean that you can get to it from there. Novy indicated that was correct. He then stated intent to compact zoning administrator and building inspector space with a small conference area for their use or that board members could use for small meetings.

**Kitchen.** The need for a kitchen was discussed. The kitchen was further defined as a warming kitchen- not an institutional kitchen- a kitchenette with a refrigerator and plug ins for coffee pots; food warmers, etc., to be used for community gatherings, but also to be used as a break room for staff. The kitchen is to be accessible to the main assembly area.

**Office spaces.** Wagner will provide preliminary layouts to look at. Programming information is sufficient to do that.

**Bathrooms** will be sized to meet state code.

Wagner stated a benefit to a new building is increased efficiency to get people to where they need to be and storage where staff needs it. This will consolidate square footage. He will look at grades and how to layout parking so this can be kicked around to see what works- or if something needs to be moved.

Weinkauf requested that Wagner try to save as much green space as possible. It was noted that Sketch 2 requires the basketball court to be re-located to where diamond is now. A priority was also stated to save the Rochester Common's entrance sign- this was an Eagle Scout project.

Wagner indicated green space will need to be saved because of elevation changes and the need to create drainage swales. It was noted that if the new building is not built at the library's elevation, steps will be needed. It was then questioned whether you would have to create handicap ramps to allow access from one building to the other. Wagner responded you could have steps from the parking lot- as long as accessible spots were available at the library and village hall. He continued that the further away one building is from the other; the easier it is to make a gradual transition and possibly eliminate steps. You can make up grades very easily with grass.

Wagner was directed to design an easy pathway between the two buildings both for handicap accessibility and children.

Wagner noted the library turns its back to the new building and, really, on itself as far as where parking should go. It was suggested that an entrance be added on the west side of the library building.

Discussion turned to where the front of the village hall should be. It was determined that it should be facing the library- otherwise it will be turning its back to the library.

Wagner stated the obvious main access point to the campus should be at the top of Spring Street. Once you enter the campus, you will be able to find your way to the library or new building.

Continuing the driveway through to Wade Street was then discussed.

It was noted that extending a driveway does not preserve green space, but does offer good traffic flow for election days. Limiting it to one-way traffic could allow a narrower entrance on Spring Street. However, concern was then stated about potential use of this as a shortcut by local traffic.

Novy pointed out any access to the library on the west side of the building will need to be a monitored access because librarians need to see who is coming in and out with materials.

Matthews indicated they will need good sight lines. This would not have to be another entrance, but could be a controlled access point, such as an exit only type. For handicap access from the western parking lot, a buzzer system could be installed to get in that door.

Beere stated the Village does not want a lot of steps because this is hard for everybody- maintenance, etc. It was also noted that a primary entrance on the north of the village hall is not desired because of ice control issues.

Weinkauff stated the library will want a patio to locate picnic tables, etc., near the western entrance located between the buildings.

**Administrative storage** was discussed and the need for fire proof storage. Wagner indicated a one-hour fire rated requirement, but this is not overly expensive space to build. It requires a certain type of door, thickness of drywall, and a dampening system in HVAC ductwork to the area.

**Room dividers** were discussed in regards to segregating meeting tables and chairs from the greater assembly area. Panel systems are much better than they used to be. They can be run down a track and locked into place. They offer a lot better sound separation than they used to and look a lot nicer. Veterans Terrace in Burlington was noted as a place to see the newest panel wall systems. Chart noted

he had been there and noticed how nice they are. They are not cheap, but with a straight shot, a manual system could be utilized to cut costs. It was noted that they would allow both spaces in the assembly area to be used simultaneously.

Chart questioned utilizing the segregated area of the larger assembly room as the smaller conference room. Wagner indicated the smaller conference room is a very multi-purpose room right now. There may be problems with timing and scheduling.

Wagner noted, as far as proximity and sharing spaces, that public works, zoning and building inspection all have file storage requirements and those three entities would work well in the same area. If there is a plan layout space that can be worked into that, it should be available to all three of them. He also noted their working spaces do not have to be fully enclosed and there is a way to make that flow more efficiently to consolidate those three in the same area.

Future meeting dates were discussed. Committee members indicated flexibility in meeting as needed. Wagner will come up with an initial layout and forward drawings to Novy to schedule the next meeting.

Weinkauf suggested the first task be tearing down the old building. Matthews stated their intent to get numbers and bids out on that item. They will call and verify that abatement costs are still valid.

Matthews indicated demolition, utility shut-offs and re-grading will all go out for bid- and how to close that off so that it looks nice when it is done.

Novy questioned where the items being stored in the building will go after this is done.

Chart questioned salvage options noting both the historical society and library had approached him regarding removing blackboards, floor boards, etc. and making a fund raiser out of it. Chart expressed concerns about liability and someone getting hurt if they were allowed to do this. He doesn't mind if they take some things out, but doesn't want people without experience or insurance performing demolition work on village property.

Matthews indicated most demolition contractors submit bids based on what they are salvaging from the building. If part of the building will be removed, they will need to know that because the contractor will need to know to establish his price.

Chart noted the Historical Society will be taking the furnace out because they paid for it.

Matthews indicated the need to tell them what isn't going to be there that is there right now. Bids will be solicited accordingly.

Beere moved, 2<sup>nd</sup> by Weinkauf to adjourn at 7:20 p.m. Motion carried.

Respectfully submitted,

Betty J. Novy, MMC, CMTW, WCMC  
Clerk-Treasurer