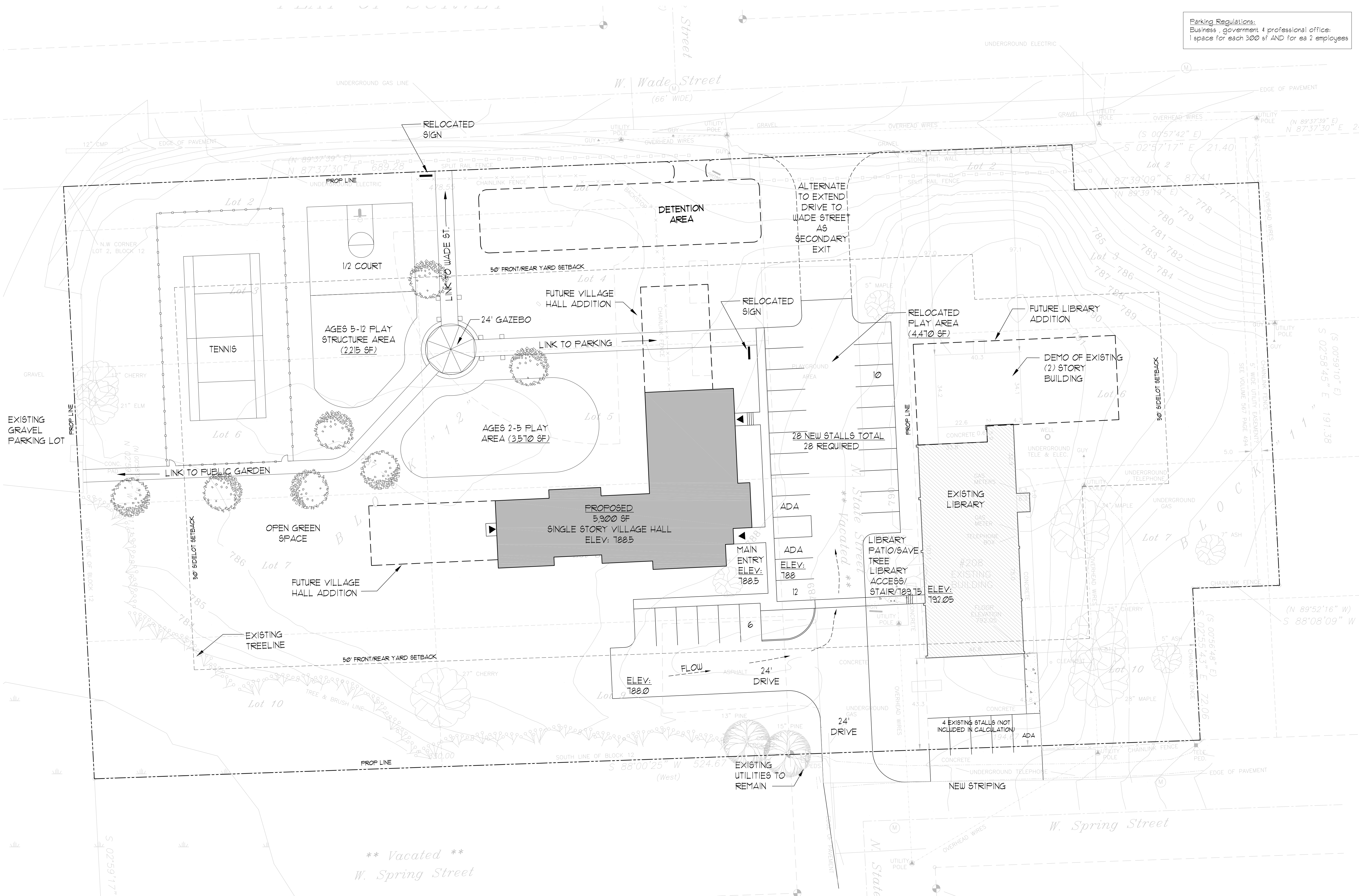


Parking Regulations:  
 Business, Government & professional office:  
 1 space for each 300 sf AND for ea 2 employees



REVISIONS

SYMBOL LEGEND

	CONCRETE WALL
	CMU/MASONRY WALL
	STUD WALL
	STUD WALL W/INSUL
	WALL TYPE TAG
	WINDOW/GLAZING TAG
	DEMO DOOR IN DEMO WALL
	EXISTING DOOR IN EXISTING WALL
	NEW DOOR W/DOOR NUMBER TAG

ANDERSON-ASHTON, INC.

DESIGN PLANNING CONTRACTING  
 2746 South 166th Street  
 New Berlin, WI 53151  
 Phone: (262) 786-4840  
 Fax: (262) 786-4675  
 Wisconsin Registered Contractor:  
 ID #: 1048911 WI Dept of Commerce

PROPOSED BUILDING FOR:  
**ROCHESTER VILLAGE HALL**  
 WEST SPRING STREET  
 ROCHESTER, WI 53167

ZONING DATA:		DISTRICT: "P-1"
Lot Width Minimum: No Min. (Sewered)	Building Height Maximum 35 ft.	Yard (Setbacks) Street Minimum 50 ft. from property line.
Area Minimum: No Min. (Sewered)		Side Minimum 50 ft.
		Rear Minimum 50 ft.

ARCHITECTURAL SITE PLAN - OPTION 1

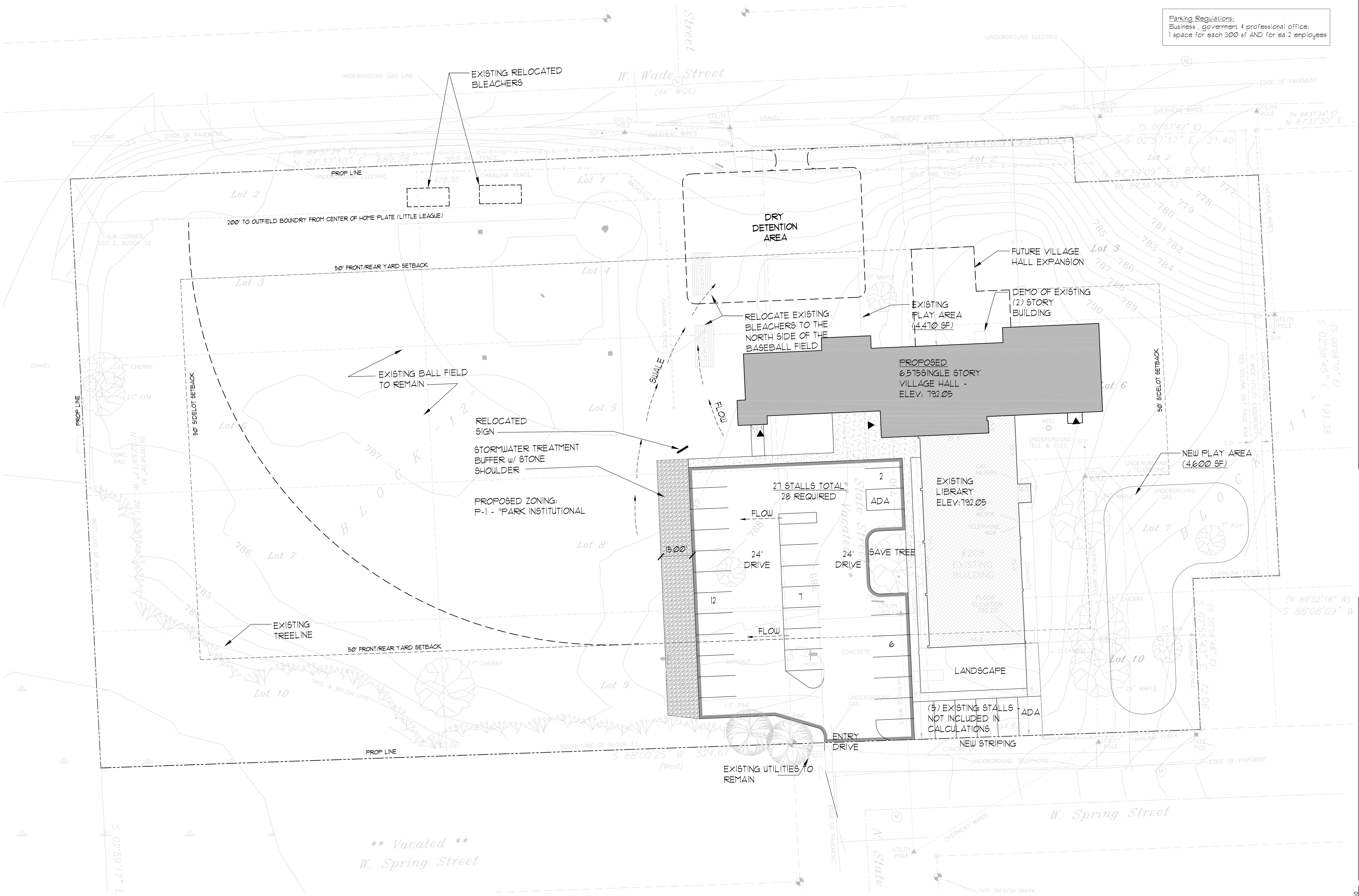
1  
 C1.1

DRAFTED BY: SLX / MH  
 PROJECT DESIGNER: SLX  
 SUBMITTAL DATE:  
 LATEST REV. DATE: Sep.-20-11  
 JOB NO. 1121  
 SHEET  
**C1.1**

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**Parking Regulations:**  
 Business, government & professional office:  
 1 space for each 300 sf AND for ea 2 employees



**REVISIONS**

**SYMBOL LEGEND**

[Symbol]	CONCRETE WALL
[Symbol]	CMU/MASONRY WALL
[Symbol]	STUD WALL
[Symbol]	STUD WALL W/ INSUL.
[Symbol]	WALL TYPE TAG
[Symbol]	WINDOW/GLAZING TAG
[Symbol]	DEM'DOOR IN DEMO WALL
[Symbol]	EXISTING DOOR IN EXISTING WALL
[Symbol]	NEW DOOR W/ DOOR NUMBER TAG

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 ROCHESTER, WI 53167

DRAFTED BY: SLX / MH  
 PROJECT DESIGNER: SLX  
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 LATEST REV. DATE: Sep-20-11  
 JOB NO. 1121  
 SHEET  
**C1.3**

<b>ZONING DATA:</b>		DISTRICT: "P-1"
Lot	Building	Yard (Setbacks)
Width Minimum: No Min. (Sewered)	Height Maximum 35 ft.	Street Minimum 30 ft. from property line.
Area Minimum: No Min. (Sewered)		Side Minimum 50 ft.
		Rear Minimum 50 ft.

**ARCHITECTURAL SITE PLAN - OPTION 3**

1:20

1  
C1.3



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**Parking Regulations:**  
 Business, government & professional office:  
 1 space for each 300 sf AND for ea 2 employees

**REVISIONS**

**SYMBOL LEGEND**

-  CONCRETE WALL
-  CMU/MASONRY WALL
-  STUD WALL
-  STUD WALL W/INSUL.
-  WALL TYPE TAG
-  WINDOW/GLAZING TAG
-  DEMO DOOR IN DEMO WALL
-  EXISTING DOOR IN EXISTING WALL
-  NEW DOOR W/DOOR NUMBER TAG

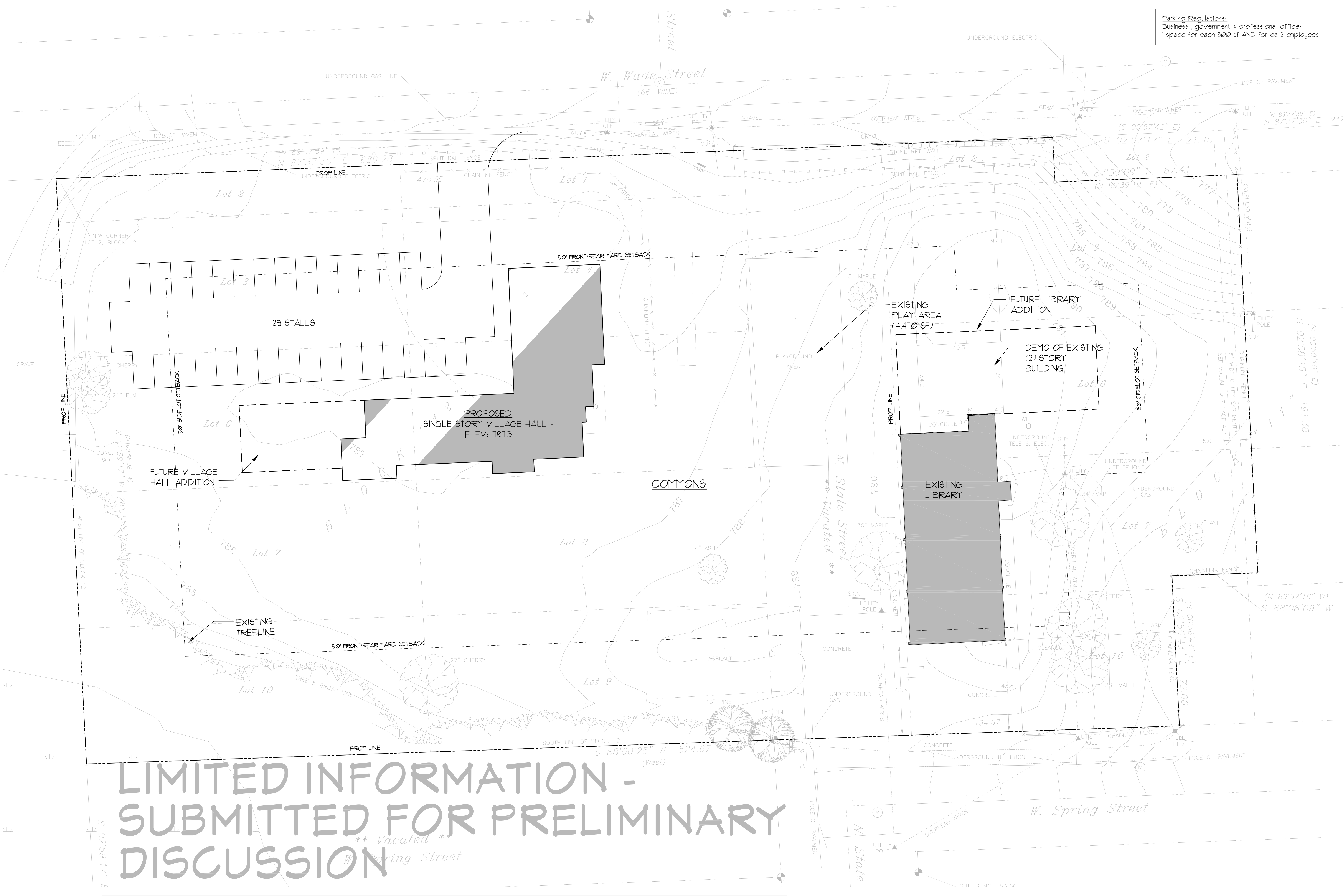
**ANDERSON-ASHTON, INC.**

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 2746 South 166th Street  
 New Berlin, WI 53151  
 Phone: (262) 786-4840  
 Fax: (262) 786-4675

Wisconsin Registered Contractor:  
 ID #: 1048911 WI Dept of Commerce

**PROPOSED BUILDING FOR:**  
**ROCHESTER VILLAGE HALL**  
 ROCHESTER, WI 53167  
 WEST SPRING STREET

DRAFTED BY: SLX / MH  
 PROJECT DESIGNER: SLX  
 SUBMITTAL DATE:  
 LATEST REV. DATE: Sep-20-11  
 JOB NO. 1121  
 SHEET  
**C1.4**



LIMITED INFORMATION -  
 SUBMITTED FOR PRELIMINARY  
 DISCUSSION

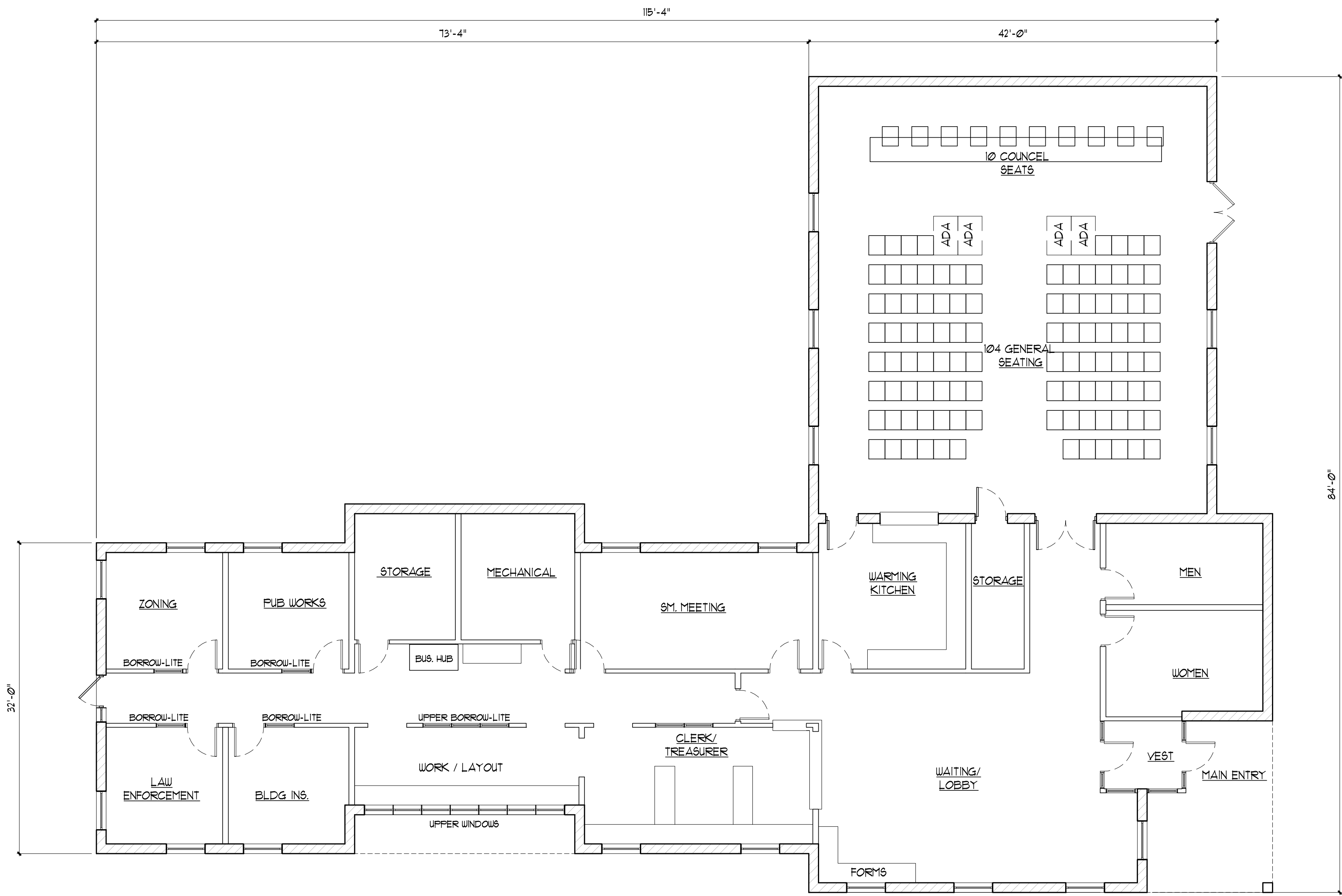
<b>ZONING DATA:</b>		<b>DISTRICT:</b> "P-1"
Lot Width Minimum: No Min. (Sewered)	Building Height Maximum 35 ft.	Yard (Setbacks) Street Minimum 30 ft. from property line. Side Minimum 50 ft. Rear Minimum 50 ft.
Area Minimum: No Min. (Sewered)		

**ARCHITECTURAL SITE PLAN - OPTION 4**

1:20



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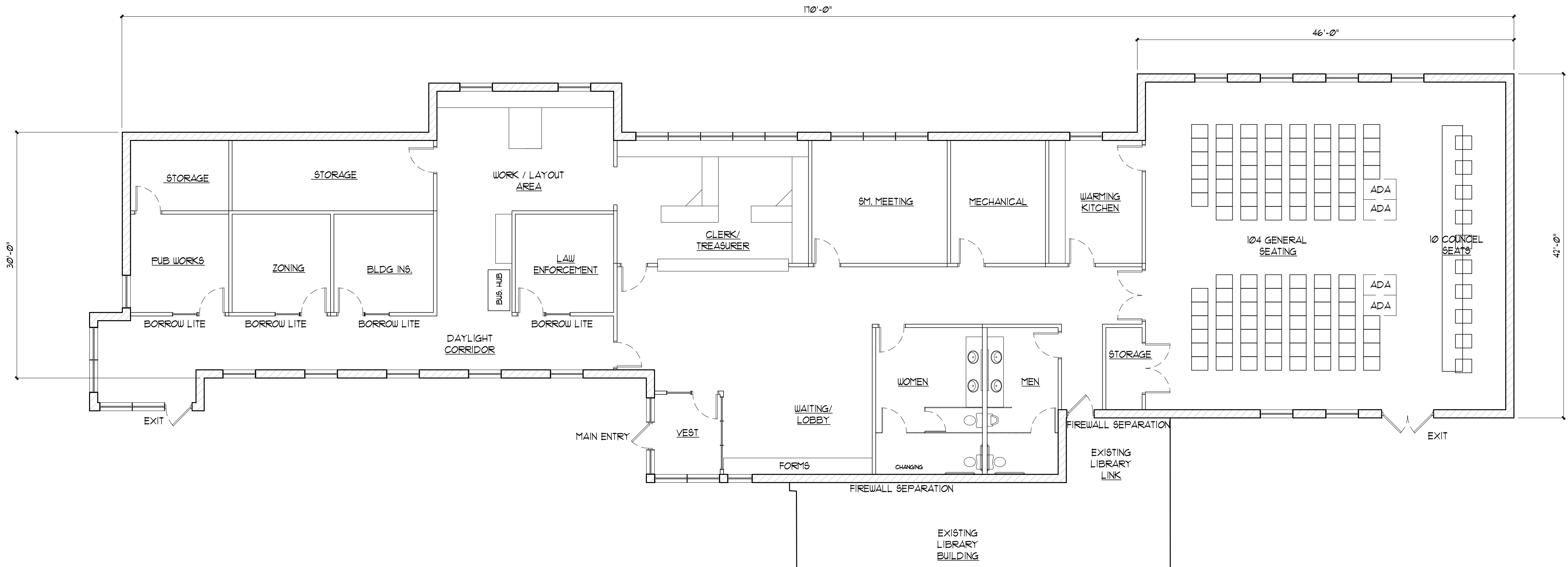


**PROPOSED FLOOR PLAN - LAYOUT 2**

1/8" = 1'-0" 5,900 SF

REFER TO SITE PLAN #1 & 2 FOR SITE PLACEMENT OPTIONS

1  
A1.2



**PROPOSED FLOOR PLAN - LAYOUT 3**

1/8" = 1'-0" 6,575 SF

REFER TO SITE PLAN #3 FOR SITE PLACEMENT

2  
A1.3



REVISIONS

NO.	DESCRIPTION

SYMBOL LEGEND

	CONCRETE WALL
	CMU/MASONRY WALL
	STUD WALL
	STUD WALL W/ INSUL.
	WALL TYPE TAG
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PROPOSED BUILDING FOR:  
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 WEST SPRING STREET  
 ROCHESTER, WI 53167

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**A1.2**

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